



Fulton County, GA

Department of Purchasing & Contract Compliance

May 14, 2013

Re: **#13ITB87610K-JD–Carnes Wall Panel Cladding Repair and Roof Replacement**

Dear Bidders:

Attached is one (1) copy of Addendum 3, hereby made a part of the above referenced **#13ITB87610K-JD – Carnes Wall Panel Cladding Repair and Roof Replacement**.

Except as provided herein, all terms and conditions in the **#13ITB87610K-JD – Carnes Wall Panel Cladding Repair and Roof Replacement** referenced above remain unchanged and in full force and effect.

Sincerely,

Joyce Daniel

Joyce Daniel, CPPB
Assistant Purchasing Agent

Winner 2000 - 2009 Achievement of Excellence in
Procurement Award • National Purchasing Institute



**#13ITB87610K-JD – Carnes Wall Panel Cladding Repair and Roof Replacement
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This Addendum forms a part of the contract documents and **modifies** the original ITB documents as noted below:

RESPONSE TO QUESTIONS

1. The Metal Sidewalk Canopies attached to the JD Carnes Building along Pryor St, and Mitchell St. obstructs the proposed work that is to be performed to the Low Roof Marble Wall Panels. Will the Contractor be able to remove, store and re-install the Metal Sidewalk Canopies before, and after the JD Carnes Wall Panel Cladding Repair and Roof Replacement project is completed?

RESPONSE: Drawings A104 and A202 address removal and reinstallation of metal canopy over sidewalks.

2. Will the Contractor be able to erect a Protective Walkway and Scaffold system at the JD Carnes Building along Pryor St., and Mitchell St. allowing the contractor to perform the Low Roof Marble Wall Panel Repairs and Low Roof Replacement?

RESPONSE: Contractor means and methods through submitted site utilization plan must comply with all applicable local and state codes and laws from the awarded contractor.

3. Will the Contractor be allowed access into the alley between the Southern side of the Fulton County Government Center Building, and the Northern side of the JD Carnes Building? The Low Roof Marble Wall Panel Repairs and Roof Replacement work activity will require the Contractor to be able to enter this alley to perform certain particular work activities to the Northern Low Roof Marble Wall Panels, and Coping, the Northern Low Roof Replacement, the JD Carnes Bridge Roof Replacement, and the Joyner Bridge Roof Drainage Repairs.

RESPONSE: Access of a secure facility, will be controlled to allow all work to be performed.

4. Will the Contractor be able to erect a Scaffold System to the Eastern/Backside of the JD Carnes Building for the existing high main Roof Removal and Replacement, and high Wall Panel and Brick Repairs?

RESPONSE: Contractor means and methods through submitted site utilization plan must comply with all applicable local and state codes and laws from the awarded contractor.

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5. Where will the Contractor be able to place a project refuse dumpster in the Eastern/Back of Building parking lot area? The Dumpster is necessary for the removal of the High Main Roof Removal waste and daily project trash refuse.

RESPONSE: Contractor means and methods through submitted site utilization plan must comply with all applicable local and state codes and laws from the awarded contractor.

6. Please inform the Contractor whom is the HVAC Mechanical Contractor that provides maintenance services to the JD Carnes Building. Who is the JD Carnes Building Mechanical HVAC services and maintenance contractor? This information is important for the Rooftop Mechanical Unit curbing and flashing at the Main High Roof Replacement.

RESPONSE: HVAC Contractor maintains equipment and has no responsibility to curb flashing of mechanical equipment, contractor identification is not relevant. Coordination of HVAC equipment with roofing scope of work will commence with progress meetings.

7. Is the Penthouse Roof to be repaired or replaced? Detail 7/A503 shows new PVC Roof Membrane at the Penthouse Roof.

RESPONSE: See Drawing SK-2 ATTACHED

8. Drawing S101 shows the Penthouse Roof's steel decking being repaired per Notes 1 through 5. Is the entire Penthouse Roof steel decking being repaired? Or only the 2 panels that are pointed to on the 1/S101 detail?

RESPONSE: Precast concrete roof deck panels are cracking (roof is not steel decking). Work is crack mitigation using steel reinforcing members and epoxy fill. Notes to plan indicate "typical". Notes 1-5 are description of work.

9. Drawing S202 shows the Penthouse Roof's steel deck frame being replaced?

RESPONSE: Precast concrete roof deck panels are cracking (roof is not steel decking). Work is crack mitigation using steel reinforcing members and epoxy fill.

Precast concrete roof deck panels are cracking (roof is not steel decking). Work is crack mitigation using steel reinforcing members and epoxy fill.

10. What are the true work activities that are to take place at the Penthouse Roof? Drawings A503, S101, and S202 all show different work activities being performed that contradict each other. Please clarify what the Steel work activity being requested is at the Penthouse Roof. Please clarify what the Roofing work activity being requested is at the Penthouse Roof.

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RESPONSE: Precast concrete roof deck panels are cracking (roof is not steel decking). Work is crack mitigation using steel reinforcing members and epoxy fill per S101 and S202.
Precast concrete roof deck panels are cracking (roof is not steel decking). Work is crack mitigation using steel reinforcing members and epoxy fill per S101 and S202.

11. Is there an elevator, or stairs that access the Lower Roof and Carnes Bridge roof?

RESPONSE: There is no elevator or stairs which Access the Lower roof and the Carnes Bridge roof.

12. Will the Contractor be able to access the Eastern/Back of Building parking lot area for a Crane to deliver and remove construction materials to and from the Main High Roof?

RESPONSE: Contractor will be able to access the Eastern/Back of Building parking lot area within the contract work hours with no disruption to operations of the Courthouse.

13. What is the R-Value of the New Roof Insulation to be? The 072200 – Roof, and Deck Insulation specification, and the 076200 – PVC Roofing specification don't provide the Insulation Board "Thickness", or "R-Value". Please clarify what the R-Value and Insulation Board Thickness are for this project.

RESPONSE: Minimum thickness to create sumps at roof drains is 3", sloping up a minimum of 1/4" per foot from the drain sumps using tapered roof insulation.
See Drawing detail sheet SK1 is attached for clarification.

14. Detail 2/A201 shows that an existing "eyebrow" is to be cleaned, and receive new waterproof coating. What type of waterproof coating is to be installed? The project specifications only contain a 07113 - Damproofing specification. Please clarify what kind of waterproof coating is to be provided.

RESPONSE: Eyebrow canopy over loading area to be cleaned and receive a coating of Sherwin Williams "Loxon XP" masonry coating or an equivalent product, to be applied per manufacturer's recommendations. Specification Section 09 91 13 and a revised Table of Contents are included.

15. Detail 2/A201 shows an existing "eyebrow" that is to be cleaned and receive new waterproof coating. What is this "eyebrow"? Is there a section cut drawing showing what this "eyebrow" is? The April 23rd Site Walk revealed no "eyebrow" at this Eastside/Back of Building location as described on the A201 drawing. Please clarify what the "eyebrow" is, what is to take place at it, and with what type of waterproof coating.

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RESPONSE: Shallow ‘Eyebrow canopy’ over the drive-in loading area at basement level.

16. Is there any exterior painting to be provided on the project? The project drawings do not show any taking place and no Painting specifications are provided in the contract documents. Please clarify that there is no painting to be performed on the - JD Carnes Wall Panel Cladding Repair and Roof Replacement.

RESPONSE: No exterior painting is called for beyond the coating at the eyebrow canopy.

17. Please provide a Paint specification. The S201 drawing details 3, 4, 5/S201 show steel shelf angles, and plates receiving a coating of “zinc rich paint”. Please clarify what metals whether new or existing are to receive paint coatings on the JD Carnes Wall Panel Cladding Repair and Roof Replacement.

RESPONSE: Notes indicate all new steel shall be galvanized and all welds shall be cleaned and coated with zinc rich paint. Reference note B6 on sheet S000 for guidance on zinc-rich paint specifications.

REVISION: TABLE OF CONTENTS HAS BEEN REVISED. SEE ATTACHED.

REVISION: SECTION 09 91 13 EXTERIOR COMMERCIAL PAINTS AND COATING HAS BEEN REVISED.

REVISION: DRAWING SK1 AND DRAWING SK2 HAVE BEEN REVISED. SEE ATTACHED.

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ACKNOWLEDGEMENT OF ADDENDUM NO. 3

The undersigned proposer acknowledges receipt of this addendum by returning one (1) copy of this form with the proposal package to the Department of Purchasing & Contract Compliance, Fulton County Public Safety Building, 130 Peachtree Street, Suite 1168, Atlanta, Georgia 30303 by the ITB due date and time **Monday, May 20, 2013, 11:00 A.M.**

This is to acknowledge receipt of Addendum No.3, _____ day of _____, 2013.

Legal Name of Bidder

Signature of Authorized Representative

Title

ATTACHMENTS

TABLE OF CONTENTS – REVISED

**SECTION 09 91 13 EXTERIOR COMMERCIAL PAINTS AND COATINGS
REVISED**

REVISED DRAWINGS – SK1 AND SK2

Carnes Wall Panel Cladding Repair & Roof Replacement

DIVISION 1 – GENERAL REQUIREMENTS

01 10 00	Summary of Work
01 21 00	Allowances
01 29 73	Schedule of Values
01 31 13	Project Coordination
01 31 19	Project Meetings
01 32 13	Scheduling of the Work
01 32 20	Construction Progress Reporting
01 32 33	Photographic Documentation
01 33 00	Submittal Procedures
01 33 23	Shop Drawings, Product Data & Samples
01 35 00	Special Procedures
01 35 29	Health, Safety, and Emergency Response Procedures
01 42 19	Reference Standards
01 45 00	Quality Control
01 50 00	Construction Facilities and Temporary Controls
01 57 19	Environmental Protection
01 66 00	Product Storage and Handling Requirements
01 71 23	Construction Layout
01 73 29	Cutting, Coring and Patching
01 74 00	Cleaning
01 77 00	Closeout Procedures
01 78 23	Operating and Maintenance Data
01 78 36	Warranties
01 78 39	Project Record Documents
01 78 43	Spare Parts and Maintenance Materials

DIVISION 2 – EXISTING CONDITIONS

02 41 91	Selective Building Demolition
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DIVISION 3 - CONCRETE

Not Used

DIVISION 4 - MASONRY

04 01 20	Clay Masonry Cleaning and Restoration
04 01 40	Maintenance of Stone Assemblies
04 20 00	Unit Masonry

DIVISION 5 - METALS

05 50 00	Metal Fabrications
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DIVISION 6 – WOOD, PLASTICS AND COMPOSITES

06 10 00	Rough Carpentry
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DIVISION 7 - THERMAL AND MOISTURE PROTECTION

07 11 13	Bituminous Dampproofing
07 54 20	Polyvinyl-Chloride (PVC) Roofing
07 62 00	Sheet Metal Flashing and Trim
07 92 00	Joint Sealants

Carnes Wall Panel Cladding Repair & Roof Replacement

DIVISION 8 - OPENINGS

Not Used

DIVISION 9 - FINISHES

09 91 13 Exterior Commercial Paints and Coatings

DIVISION 10 - SPECIALTIES

Not used

DIVISION 11 - EQUIPMENT

Not used

DIVISION 12 - FURNISHINGS

Not used

DIVISION 13 - SPECIAL CONSTRUCTION

Not used

DIVISION 14 - CONVEYING SYSTEMS

Not Used

DIVISION 21 – FIRE SUPPRESSION

Not used

DIVISION 22 - PLUMBING

Not Used

DIVISION 23 – HEATING, VENTILATING AND AIR CONDITIONING

Not Used

DIVISION 26 – ELECTRICAL

Not Used

DIVISION 27 – COMMUNICATIONS

Not Used

DIVISION 28 – ELECTRONIC SAFETY AND SECURITY

Not Used

DIVISION 31 – EARTHWORK

Not Used

DIVISION 32 – EXTERIOR IMPROVEMENTS

Not used

DIVISION 33 – UTILITIES

Not used

END OF TABLE OF CONTENTS

SECTION 09 91 13

EXTERIOR COMMERCIAL PAINTS AND COATINGS

Part 1 GENERAL

1.1 SECTION INCLUDES

- A Exterior paint and coating systems.

1.2 REFERENCES

- A SSPC-SP 13 / NACE No. 6 Surface Preparation for Concrete.

1.3 SUBMITTALS

- A Product Data: Manufacturer's data sheets on each paint and coating product should include:
 - 1 Product characteristics
 - 2 Surface preparation instructions and recommendations
 - 3 Primer requirements and finish specification
 - 4 Storage and handling requirements and recommendations
 - 5 Application methods
 - 6 Clean-up Information
- C Selection Samples: Submit a complete set of color chips that represent the full range of manufacturer's color samples available.
- D Verification Samples: For each finish product specified, submit samples that represent actual product, color, and sheen.

1.4 DELIVERY, STORAGE, AND HANDLING

- A Delivery: Deliver manufacturer's unopened containers to the work site. Packaging shall bear the manufacturer's name, label, and the following list of information:
 - 1 Product name, and type (description)
 - 2 Application & use instructions
 - 3 Surface preparation
 - 4 VOC content
 - 5 Environmental handling
 - 6 Batch date
 - 7 Color number
- B Storage: Store and dispose of solvent-based materials, and materials used with solvent-based materials, in accordance with requirements of local authorities having jurisdiction. Store materials in an area that is within the acceptable temperature range, per manufacturer's instructions. Protect from freezing.
- C Handling: Maintain a clean, dry storage area, to prevent contamination or damage to the coatings.

Carnes Wall Panel Cladding Repair & Roof Replacement

1.5 PROJECT CONDITIONS

Maintain environmental conditions (temperature, humidity, and ventilation) within limits recommended by manufacturer for optimum results. Do not apply coatings under environmental conditions outside manufacturer's absolute limits.

Part 2 PRODUCTS

2.1 MANUFACTURERS

A Acceptable Manufacturers include: The Sherwin-Williams Company, 101 Prospect Avenue NW, Cleveland, OH 44115

B Substitutions: When submitting request for substitution, provide complete product data specified above under Submittals, for each substitute product.

2.2 SCHEDULE

A CONCRETE - 1. Latex Systems

- a. **High Build Coating**
1st Coat: S-W Loxon XP, A24-1400 Series
(14-18 mils wet; 6.4-8.3 mils dry)

2.3 MATERIALS - GENERAL REQUIREMENTS

A Paints and Coatings - General:

- 1 Unless otherwise indicated, provide factory-mixed coatings. When required, mix coatings to correct consistency in accordance with manufacturer's instructions before application. Do not reduce, thin, or dilute coatings or add materials to coatings unless such a procedure is specifically described in manufacturer's product instructions. VOCs need to be confirmed by using the products MSDS sheets.

2.4 ACCESSORIES:

A Coating Application Accessories:

- 1 Provide all primers, sealers, cleaning agents, cleaning cloths, sanding materials, and clean-up materials required per manufacturer's specifications.

Part 3 EXECUTION

3.1 EXAMINATION

- A Do not begin application of coatings until substrates have been properly examined and prepared. Notify Architect of unsatisfactory conditions before proceeding
- B Proceed with work only after conditions have been corrected, and approved by all parties, otherwise application of coatings will be considered as an acceptance of surface conditions.
- C Previously Painted Surfaces: Verify that existing painted surfaces do not contain lead based paints; notify Architect immediately if lead based paints are encountered.

Carnes Wall Panel Cladding Repair & Roof Replacement

3.2 SURFACE PREPARATION:

- A. The surface must be dry and in sound condition. Remove oil, dust, dirt, loose rust, peeling paint or other contamination to ensure good adhesion.
- B. Remove mildew before painting by washing with a solution of 1 part liquid household bleach and 3 parts of warm water. Apply the solution and scrub the mildewed area. Allow the solution to remain on the surface for 10 minutes. Rinse thoroughly with clean water and allow the surface to dry 48 hours before painting. Wear protective glasses or goggles, waterproof gloves, and protective clothing. Quickly wash off any of the mixture that comes in contact with your skin. Do not add detergents or ammonia to the bleach/water solution.
- E. No exterior painting should be done immediately after a rain, during foggy weather, when rain is predicted, or when the temperature is below 50°F, unless products are designed specifically for these conditions. On large expanses of metal siding, the air, surface and material temperatures must be 50°F or higher to use low temperature products.
- F. Methods:
 - 1 Concrete, SSPC-SP13 or NACE 6
This standard gives requirements for surface preparation of concrete by mechanical, chemical, or thermal methods prior to the application of bonded protective coating or lining systems. The requirements of this standard are applicable to all types of cementitious surfaces including cast-in-place concrete floors and walls, precast slabs, masonry walls, and shotcrete surfaces. An acceptable prepared concrete surface should be free of contaminants, laitance, loosely adhering concrete, and dust, and should provide a sound, uniform substrate suitable for the application of protective coating or lining systems.

3.3 INSTALLATION

- A Apply all coatings and materials with the manufacturer's specifications in mind. Mix and thin coatings according to manufacturer's recommendation.
- B Do not apply to wet or damp surfaces.
 - 1 Wait at least 30 days before applying to new concrete or masonry. Or follow manufacturer's procedures to apply appropriate coatings prior to 30 days.
 - 2 Test new concrete for moisture content.
 - 3 Wait until wood is fully dry after rain or morning fog or dew.
- C Apply coatings using methods recommended by manufacturer.
- D Uniformly apply coatings without runs, drips, or sags, without brush marks, and with consistent sheen.
- E Apply coatings at spreading rate required to achieve the manufacturer's recommended dry film thickness.
- F Regardless of number of coats specified, apply as many coats as necessary for complete hide.
- G Inspection: The coated surface must be inspected and approved by the Architect or Engineer just prior to the application of each coat.

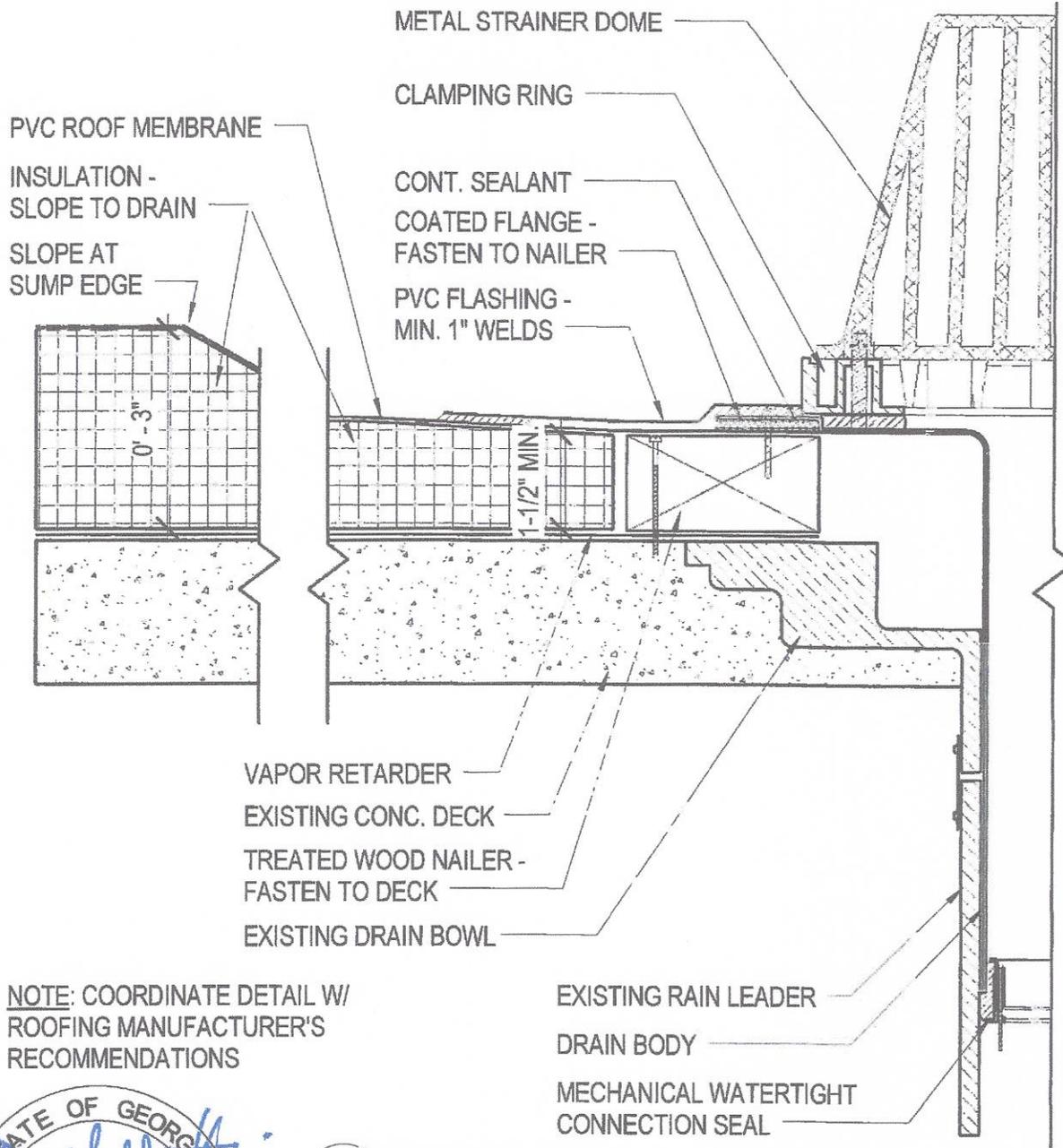
3.4 PROTECTION

- A Protect finished coatings from damage until completion of project.

Carnes Wall Panel Cladding Repair & Roof Replacement

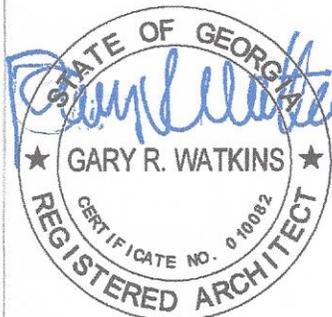
- B Touch-up damaged coatings after substantial completion, following manufacturer's recommendation for touch up or repair of damaged coatings. Repair any defects that will hinder the performance of the coatings.

END OF SECTION 09 91 13



NOTE: COORDINATE DETAIL W/
ROOFING MANUFACTURER'S
RECOMMENDATIONS

EXISTING RAIN LEADER
DRAIN BODY
MECHANICAL WATERTIGHT
CONNECTION SEAL



1 SK1 ROOF DRAIN DETAIL - RETROFIT
3" = 1'-0"

**THIS DETAIL TO REPLACE DETAIL 1/A503
ON DRAWINGS DATED 02/26/2013**

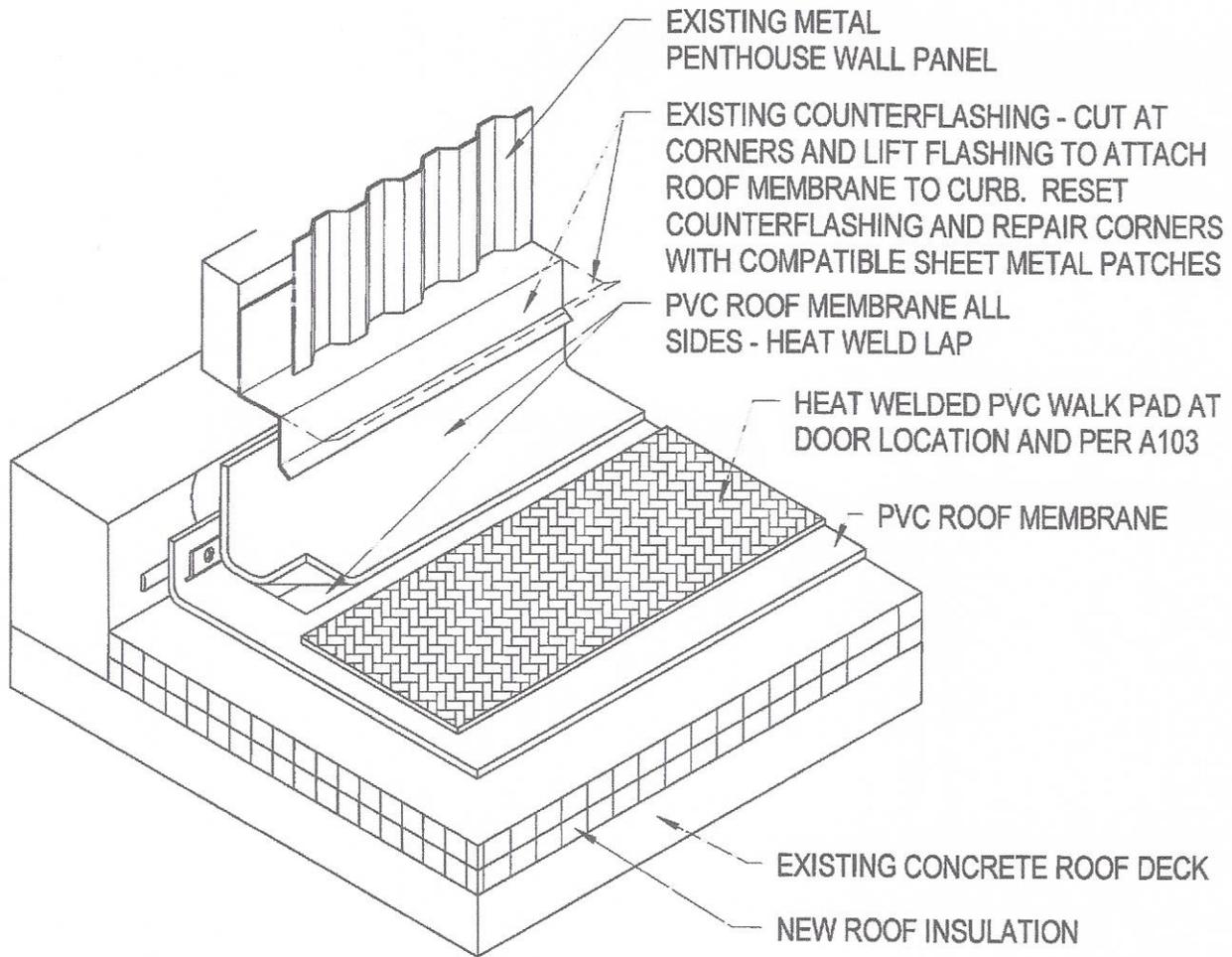
CARNES WALL PANEL CLADDING
REPAIR & ROOF REPLACEMENT

160 PRYOR STREET, ATLANTA, GA 30303

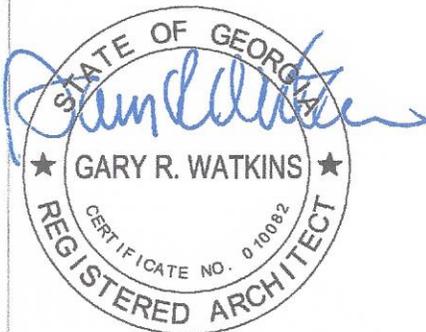


7000 CENTRAL PARKWAY SUITE 1475
ATLANTA, GA 30328
(678) 320 1888

SHT NO.	SK1
Drawn By	JEG
Checked By	GRW
Date	05/10/2013
Proj. No.	212298.00



1 METAL PENTHOUSE CURB DETAIL
 SK2 1 1/2" = 1'-0"



THIS DETAIL TO REPLACE DETAIL 7/A503
 ON DRAWINGS DATED 02/26/2013

CARNES WALL PANEL CLADDING
 REPAIR & ROOF REPLACEMENT

160 PRYOR STREET, ATLANTA, GA 30303



7000 CENTRAL PARKWAY SUITE 1475
 ATLANTA, GA 30328
 (678) 320 1888

SHT NO.	SK2
Drawn By	JEG
Checked By	GRW
Date	05/13/2013
Proj. No.	212298.00