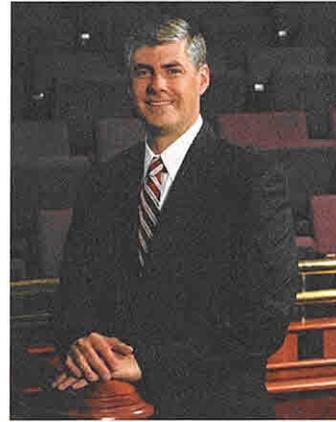


Important Information about your 2015 Fulton County Property Tax Assessments



Commissioner
Bob Ellis

On Friday, June 5th, the Fulton County Tax Assessor began to mail out the 2015 property tax assessments. As the Commissioner for District 2, I want to explain to you, my constituents, how the property tax process works as it can often be a frustrating and confusing process.

First, it is important to understand that an **assessment is not a tax bill**. Your property assessment is a separate document that provides you with an annual update on the fair market value of your property upon which your actual tax bill will be based. It is my understanding that many 2015 property tax assessments show sizable increases from last year's assessments. This is due to both a much stronger real estate market as well as the expiration of the three year freeze on property tax values, when homeowners had appealed assessments in previous years.

Each year, the Fulton County Tax Assessor

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calculates the values of all the commercial and residential real estate in the County, and that total represents the Tax Digest. The updated Tax Digest is then forwarded to the Georgia Department of Revenue for review and approval. Following the Department of Revenue's ratification, the Tax Commissioner will send the actual property tax bill to the owner of each household and commercial property. This bill is calculated by multiplying the Assessed Value by the applicable millage rates, which are set by various governmental bodies.

The assessment that property owners receive does provide an estimated tax. This overall estimate considers three factors: the current valuation of the property, any exemptions that are applicable and the millage rates that were levied in the prior year. The overall estimate will include taxes for the operation of Fulton County Government, Fulton County Schools (or Atlanta Public Schools if you are a resident of Atlanta), the City you live in and a small property tax levied by the State. Your actual tax bill will come later, generally starting in late summer and is likely to differ from this estimated tax once the current year millage rates are set by the various governing bodies and all eligible exemptions that you may have applied for are considered. Bills are expected to be paid by October 15th, though this is subject to change.

It is important to note that all of the millage rates are set by differing elected bodies: the Fulton County Board of Commissioners sets the millage rate for the

operation of County Government, the School Board for the operation of the schools, and each City Council for operation of their respective City.

As respects the Fulton County Operating Millage rate, I am hopeful, and it is my goal that this rate will be reduced for 2015 given budgetary and operating measures that the Fulton County Board of Commissioners has taken this year. The Fulton County BOC will finalize the millage rate in July.

Both the Board of Assessors and I recommend that anyone that views his or her assessment as reflecting a value that does not represent what the property would sell for on the open market, to consider filing an appeal. **The final day to appeal your assessment is July 20th.** It should be noted that appeals may not be based on the percentage or amount of the property's increase in assessed value. Georgia law allows appeals to be filed for value, uniformity, or taxability only. Additionally, if one does appeal his/her property value, a Temporary Tax Bill will be sent that will be 85% of the assessed value. This Temporary Tax Bill will need to be paid on time. A further tax bill, if necessary, will be sent after the appeal is heard and finalized.

FILE ONLINE FOR FASTER REVIEW AND CONFIRMED RECEIPT OF AN APPEAL

The Board of Assessors encourages anyone

choosing to file an appeal to do so online at the Assessors' website: www.fultonassessor.org. Filing online not only gives the appellant confirmation that the appeal has been received; it allows access to the "Appeal Resolution Center", a new service offered by the Board of Assessors. The Resolution Center allows the appellant to track their appeal's progress as well as submit pictures, appraisals, and other documents to support their opinion of value and/or issues they feel should be taken into consideration by the Assessors' office in the appeal process. Online appeals are faster, more convenient and offer the assurance that the appeal has been received and is being processed as well as the advantage of cost savings for the citizens of Fulton County.

Assessment Notices will be posted on the Assessor's website at www.fultonassessor.org within a few days after mailing. Any owner that does not receive their Notice within a reasonable time after June 8th should visit the website to review the notice on the parcel data page of their parcel. Also, notices that are returned undelivered by the post office will be listed periodically.

If you fail to receive a notice, and your notice is not shown on the data page of the parcel or on the list of returned mail, please contact the **Board of Assessors at 404-612-6440** and the staff will be glad to assist.

Further information about the valuation and appeals

process can be found on the website at
www.fultonassessor.org.

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